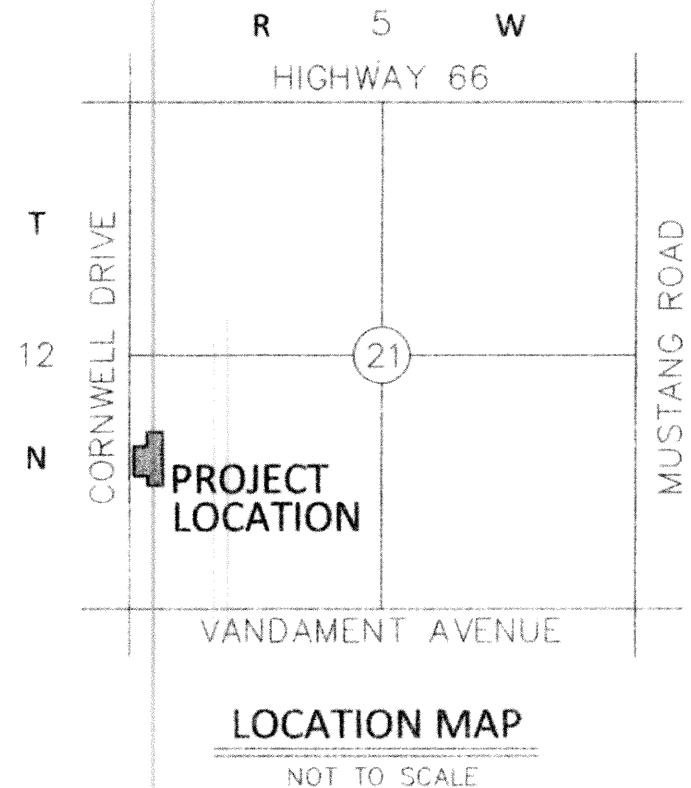


FINAL PLAT PLAZA SHOPPES ADDITION

A REPLAT OF A PART OF
BLOCK C IN YUKON HILLS ADDITION SECOND SECTION
A PART OF THE S.W. QUARTER, SECTION 21, T. 12 N., R. 5 W., I.M.
CITY OF YUKON, CANADIAN COUNTY, OKLAHOMA

Doc# P 2018 13
BkPg: 01-026-037
Filed: 05-03-2018
02:44:11 PM
Canadian County, OK



OWNER'S CERTIFICATE AND DEDICATION

Know All Men By These Presents:

That the undersigned, PLAZA SHOPPES LLC, an Oklahoma limited liability company hereby certifies that it is the owner of, and the only person, firm or corporation having any right, title or interest in, and to the land shown on the Final Plat of PLAZA SHOPPES ADDITION, an addition to the City of Yukon, Canadian County, Oklahoma.

PLAZA SHOPPES LLC, does hereby dedicate all right-of-way, alleys and easements, as shown on said Final Plat to the public for streets, fire protection, utility and drainage easements, for themselves, their successors and assigns forever and have caused the same to be released from all rights, easements, and encumbrances. In witness whereof the undersigned having caused this instrument to be executed this 31st day of MAY, 2018. The Restrictive Covenants will be filed separately.

James Ferguson
PLAZA SHOPPES LLC
James Ferguson, Manager

STATE OF Oklahoma)
COUNTY OF Oklahoma)SS

Before me, the undersigned, a notary public in and for said county and state on the 3rd day of APRIL, 2018, personally appeared James Ferguson to me known to be the identical person who subscribed the name of the maker thereof to the foregoing instrument, and duly acknowledged to me that he executed the same as his free and voluntary act and deed and as the free and voluntary act and deed of such corporation for the uses and purposes therein set forth. Given under my hand and seal the day and year last above written.

My Commission Expires: 2/13/19
My Commission Number: 15001535
Kristen Kintner
Notary Public

CERTIFICATE OF CITY CLERK

I, Doug Shivers, City Clerk of the City of Yukon, Oklahoma, hereby certify that I have examined the records of said City and find that all deferred payments on unmatured installments upon special assessments have been paid in full and that there are no special assessment procedures now pending against the land shown on the PLAZA SHOPPES ADDITION, an addition to the City of Yukon, Canadian County, Oklahoma.

Signed by the City Clerk this 1st day of MAY, 2018.
Doug Shivers
City Clerk

CERTIFICATE OF PLANNING COMMISSION

I, Larry Taylor, Chair of the City Planning Commission, of the City of Yukon, Oklahoma, hereby certify that the said Planning Commission duly approved the Final Plat of PLAZA SHOPPES ADDITION, an addition to the City of Yukon, Canadian County Oklahoma, at a meeting the 12th day of MARCH, 2018.

Larry Taylor
Chairman

ACCEPTANCE OF DEDICATION BY CITY COUNCIL

Be it resolved by the Council of the City of Yukon, Oklahoma, that the dedications shown on the Final Plat of PLAZA SHOPPES ADDITION, an addition to the City of Yukon, Canadian County, Oklahoma are hereby accepted.

Adopted by the Council of the City of Yukon, this 1st day of MAY, 2018.
Doug Shivers
City Clerk
Michael McCackson
Mayor

COUNTY TREASURER'S CERTIFICATE

I, Carolyn M. Lee, do hereby certify that I am the duly qualified and acting County Treasurer of Canadian County, Oklahoma, that the tax records of said county show that all taxes for the year 2018, and prior years are paid on the Final Plat of PLAZA SHOPPES ADDITION, an addition to the City of Yukon, Canadian County, Oklahoma, that the required statutory security has been deposited in the offices of the County Treasurer guaranteeing the current year's taxes.

In witness whereof, said County Treasurer has caused this instrument to be executed this 3rd day of MAY, 2018.

Carolyn M. Lee
County Treasurer

BONDED ABSTRACTOR'S CERTIFICATE

The undersigned, a duly qualified and lawfully bonded abstractor of titles in and for Canadian County and State of Oklahoma, hereby certify that the records of said county show that the Title to the land shown on the Final Plat of PLAZA SHOPPES ADDITION, an addition to the City of Yukon, Canadian County, Oklahoma is vested in PLAZA SHOPPES LLC, on the 30th day of MARCH, 2018, and that there are no actions pending or judgments of any nature in any court or on file with the clerk of any court in said county and state against said land or owners thereof, that the taxes are paid for the year of 2018, and prior years, that there are no outstanding tax sales certificates against said land and no tax deeds are issued to any person, that there are no liens, or other encumbrances of any kind against the land included in the Final Plat; except, mortgages, rights-of-way, easements, and mineral conveyances of record.

In witness whereof, said Bonded Abstractor has caused this instrument to be executed this 9th day of APRIL, 2018.

First American Title Insurance Company

John G. Shultz
Authorized Officer SIGNER

STATE OF OKLAHOMA)
COUNTY OF CANADIAN)SS

Before me, the undersigned, a notary public in and for said county and state on the 9th day of APRIL, 2018, personally appeared Joe J. Stuckey, to me known to be the identical person who subscribed the name of the maker thereof to the foregoing instrument and duly acknowledged to me that he executed the same as his free and voluntary act and deed and as the free and voluntary act and deed of such corporation for the uses and purposes therein set forth. Given under my hand and seal the day and year last above written.

My Commission Expires: 2/23/2019

My Commission Number: 03001482
Joe J. Stuckey
Notary Public

STATE OF OKLAHOMA)
COUNTY OF OKLAHOMA)SS

Before me, the undersigned, a notary public in and for said county and state on the 3rd day of APRIL, 2018, personally appeared Christopher L. Tripp to me known to be the identical person who subscribed the name of the maker thereof to the foregoing instrument and duly acknowledged to me that he executed the same as his free and voluntary act and deed and as the free and voluntary act and deed of such corporation for the uses and purposes therein set forth. Given under my hand and seal the day and year last above written.

My Commission Expires: 2/13/19
My Commission Number: 15001535

Kristen Kintner
Notary Public

LEGAL DESCRIPTION

A part of Block C, YUKON HILLS ADDITION, SECOND SECTION, an Addition to Yukon, Canadian County, Oklahoma, more particularly described as follows:

BEGINNING at the southeast corner of said Block C;

THENCE North 00°00'00" East, along the east line of said Block C, a distance of 555.00 feet to the northeast corner of said Block C;

THENCE South 90°00'00" West, along the north line of said Block C, a distance of 162.08 feet;

THENCE South 00°11'40" West a distance of 150.00 feet;

THENCE South 90°00'00" West a distance of 134.00 feet to a point on the west line of said Block C;

THENCE South 00°11'40" West, along the west line of said Block C, a distance of 305.00 feet;

THENCE North 90°00'00" East a distance of 142.00 feet;

THENCE South 00°11'40" West a distance of 100.00 feet to a point on the south line of said Block C;

THENCE North 90°00'00" East, along the south line of said Block C, a distance of 155.96 feet to the POINT OF BEGINNING.

Said described tract of land contains an area of 130,541 square feet or 2.9968 acres, more or less.

LICENSED PROFESSIONAL LAND SURVEYOR'S CERTIFICATE

I, Christopher L. Tripp, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Oklahoma, and that the Final Plat of PLAZA SHOPPES ADDITION, an addition to the City of Yukon, Canadian County Oklahoma, consisting of two (2) sheets, represents a survey made under my supervision on the 3rd day of APRIL, 2018, and that monuments shown thereon exist and their positions are correctly shown, that this survey meets the Oklahoma Minimum Standards for the Practice of Land Surveyors as adopted by the Oklahoma State Board of Registration for Professional Engineers and Land Surveyors; and that said Final Plat complies with the requirements of Title II Section 41-108 of the Oklahoma State Statutes.

Christopher L. Tripp
Christopher L. Tripp, PLS #685

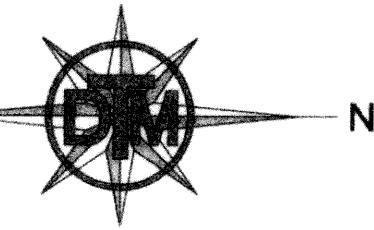
STATE OF OKLAHOMA)
COUNTY OF OKLAHOMA)SS

Before me, the undersigned, a notary public in and for said county and state on the 3rd day of APRIL, 2018, personally appeared Christopher L. Tripp to me known to be the identical person who subscribed the name of the maker thereof to the foregoing instrument and duly acknowledged to me that he executed the same as his free and voluntary act and deed and as the free and voluntary act and deed of such corporation for the uses and purposes therein set forth. Given under my hand and seal the day and year last above written.

My Commission Expires: 2/13/19

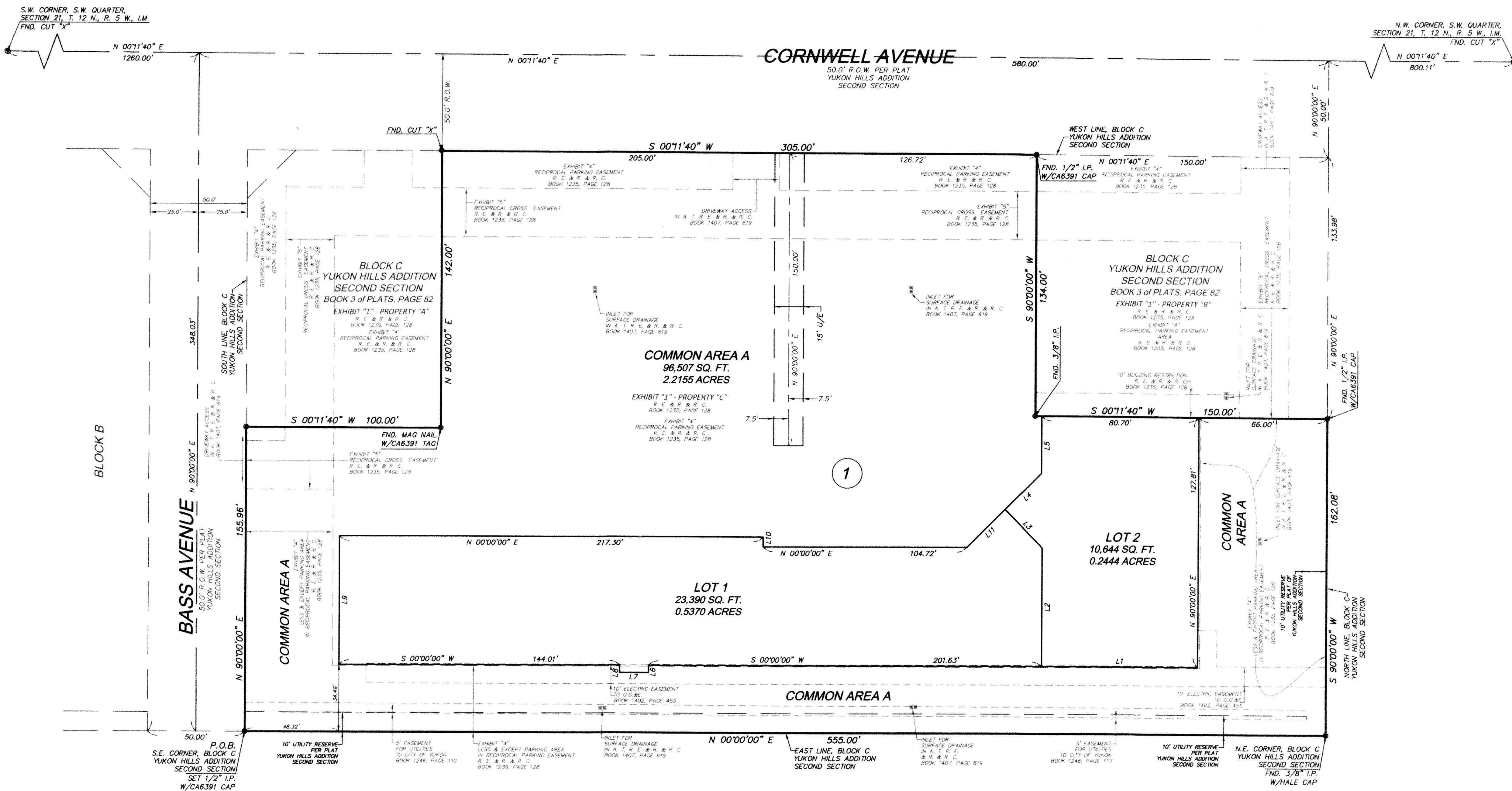
My Commission Number: 15001535

Kristen Kintner
Notary Public



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CITY OF YUKON, CANADIAN COUNTY, OKLAHOMA*



LEGEND

R.O.W. — RIGHT OF WAY

R.E.&R. & R.C.—RECIPROCAL EASEMENT &
RESERVATION & RESTRICTIVE
COVENANT

A.T.R.E. & R.&R.C. - AMENDMENT TO RECIPROCAL
EASEMENT & RESERVATION
& RESTRICTIVE COVENANT

U/E - UTILITY EASEMENT

1 - BLOCK NUMBER

MONUMENTATION NOTE
1/2" I.P. W/CA6391 CAP
OR MAG NAIL W/CA6391 TAG
SET AT ALL PROPERTY CORNERS
AND/OR LOT CORNERS
UNLESS OTHERWISE NOTED

LINE TABLE		
LINE NO.	DIRECTION	LENG
L1	S 00°00'00" W	80.2
L2	S 90°00'00" W	60.5
L3	S 45°40'22" W	27.3
L4	N 44°59'14" W	26.2
L5	S 90°00'00" W	29.4
L6	N 90°00'00" E	3.75
L7	S 00°00'00" W	14.8
L8	S 90°00'00" W	3.75
L9	S 90°00'00" W	65.6
L10	N 90°00'00" E	5.00
L11	N 44°59'14" W	27.5

NOTES

1. *Easements shown hereon by specific recording information are shown hereon for information purposes only and are not dedicated as a part of this plat.*
2. *Maintenance of the Platted Common Area is the responsibility of the Property Owner's and/or the Property Owner's Association.*
3. *The sidewalks will be brought up to current ADA standards, unless the sidewalks already meet the ADA standards.*

BASIS OF BEARING

The bearing of North 00°00'00" East as described as the east line of Block C in YUKON HILLS ADDITION and as shown on the east line of the subject property was used as the basis of bearing for this survey.

